

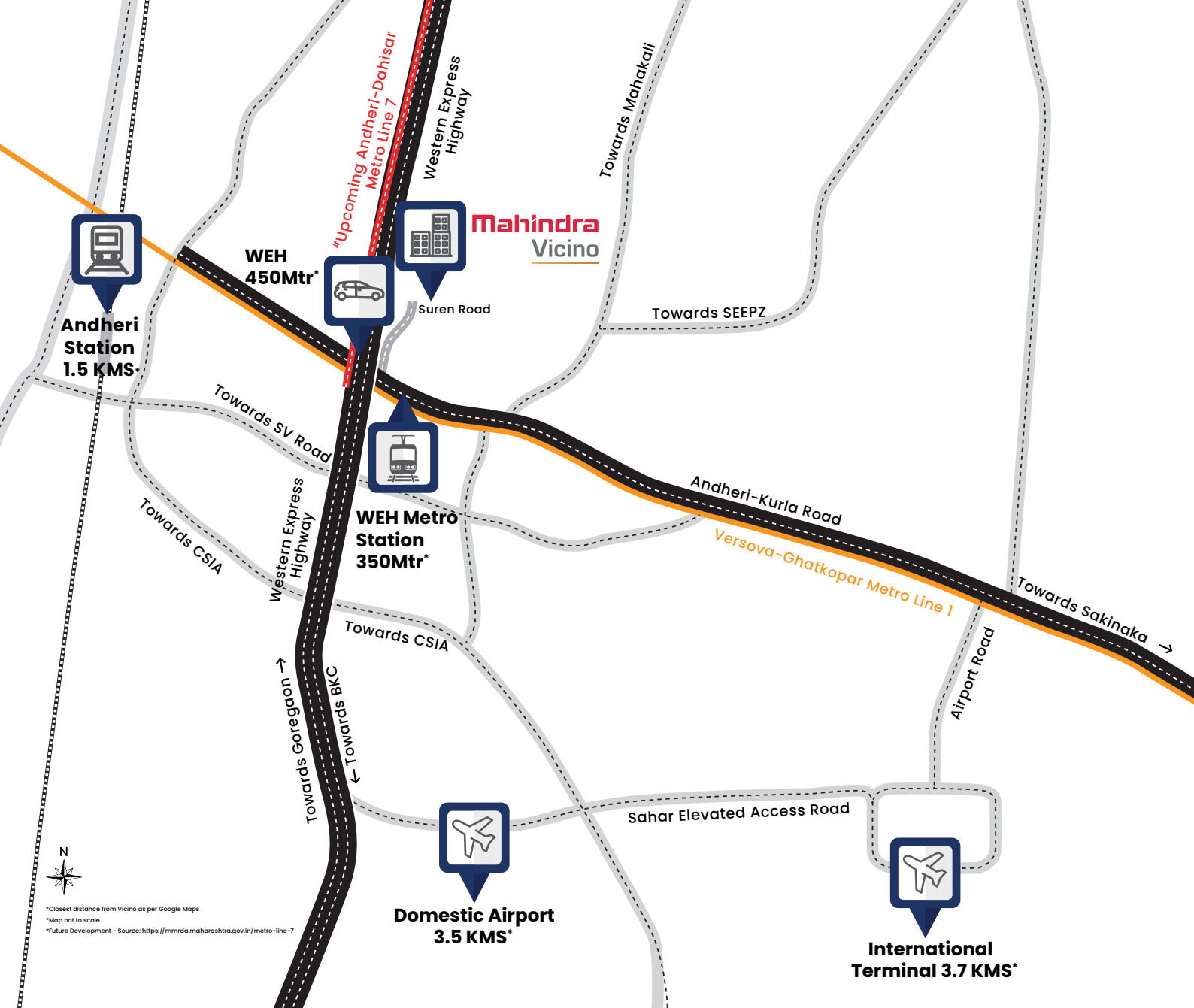
Crafting Life

Mahindra Vicino

Andheri (E)

UNRUSH LIFE

Large sized 1, 2 & 3 BHK Homes



*Closest distance from Vicino as per Google Maps
*Map not to scale
*Future Development - Source: <https://mmrda.maharashtra.gov.in/metro-line-7>

A HUB OF CONNECTIVITY SITUATED IN THE PRIME OF THE MAXIMUM CITY.

Situated in Andheri East, these premium homes lead the pack in terms of ease of connectivity. Offering matchless access to all the major landmarks of Mumbai by road and rail, you can be rest assured to travel hassle-free to any destination, thus leaving ample time in hand.

Education

Bombay Cambridge School – 2.2 kms.

Dominic Savio High School – 2.4 kms.

Holy Family High School- 1.1 kms.



Healthcare

Seven Hills Hospital – 4.0 kms.

Holy Spirit Hospital – 2.5 kms.



Lifestyle & Entertainment

The Lalit – 3.0 kms.

Hyatt Regency – 3.3 kms.

Courtyard Marriott – 1.2 kms.

ITC Maratha – 3.1 kms.

PVR – 350 mtrs.

Carnival Cinema – 1.8 kms.



Connectivity

W.E.H. Metro Station – 350 mtrs.

Andheri Station – 1.5 kms.

W.E.H. – 450 mtrs.

SEEPZ – 3.0 kms.

Powai – 6.9 kms.

MIDC – 1.7 kms.

Domestic Airport – 3.5 kms.

International Airport (T2) – 3.7 kms.



Business

Solitaire Corporate Park – 1.2 kms.

TCS Banyan Park – 100 mtrs.

Technopolis Knowledge Park – 1.3 kms.

Leela Business Park – 2.2 kms.

P&G – 850 mtrs.

Bisleri International Private Limited – 1.6 kms.

HUL – 850 mtrs.



THOUGHTFUL FEATURES THAT HELP YOU UNWIND PEACEFULLY



Rendered image for representation only.

**SPACIOUS 2 & 3 BED
HOMES WITH
KING-SIZED BEDROOM***

*in select apartments

**LARGE DECK
WITH EXPANSIVE
GREEN VIEWS**



Actual view from 14th floor.



Rendered image for representation only.

**PRE-CERTIFIED
IGBC GOLD RATED
PROJECT**



ENTER A WORLD OF REPOSE AND COMFORT.

All the amenities resonate with calmness and recreation, two aspects of life that people are missing out on these days. The reflexology path and nature trails will help you in unloading all the stress.



MASTER PLAN

Mahindra Vicino



Large sized 1, 2 & 3 BHK Homes

1. Entry & Exit
2. Seating Area
3. Basketball Hoop
4. Entrance Lobby
5. Reflexology Path
6. Multipurpose Hall
7. Rooftop Swimming Pool
8. Open Gym
9. Kids' Play Area
10. Indoor Gym
11. Indoor Games Room
12. Spa
13. Multipurpose Lawn
14. Nature Trail
15. Security Gate
16. Electrical Services
17. Drivers' Waiting Area
18. Organic Waste Converter

TOWER A5 & A6 TYPICAL FLOOR PLAN



TOWER A5 - TYPICAL FLOOR PLAN				
UNIT NUMBER	101		102	
UNIT TYPE	3 BHK		3 BHK	
	SQ. MTS.	SQ. FT.	SQ. MTS.	SQ. FT.
RERA CARPET AREA	110.63	1190.82	112.95	1215.79
BALCONY	8.21	88.37	8.21	88.37
UTILITY	1.53	16.47	1.67	17.98
AGGREGATE AREA	120.37	1295.66	122.83	1322.14

TOWER A6 - TYPICAL FLOOR PLAN				
UNIT NUMBER	101		102	
UNIT TYPE	2 BHK BEYOND		2 BHK COMFORT	
	SQ. MTS.	SQ. FT.	SQ. MTS.	SQ. FT.
RERA CARPET AREA	70.48	758.65	66.74	718.39
BALCONY	5.07	54.57	5.07	54.57
UTILITY	0.00	0.00	0.00	0.00
AGGREGATE AREA	75.55	813.22	71.81	772.96

3 BHK



UNIT TYPE	3 BHK	
	SQ. MTS.	SQ. FT.
RERA CARPET AREA	110.63	1190.82
BALCONY	8.21	88.37
UTILITY	1.53	16.47
AGGREGATE AREA	120.37	1295.66

3 BHK



UNIT TYPE	3 BHK	
	SQ. MTS.	SQ. FT.
RERA CARPET AREA	112.95	1215.79
BALCONY	8.21	88.37
UTILITY	1.67	17.98
AGGREGATE AREA	122.83	1322.14

2 BHK PRIVE



Tower A5

A6 101

Tower A6

UNIT TYPE	2 BHK PRIVE	
	SQ. MTS.	SQ. FT.
RERA CARPET AREA	70.48	758.65
BALCONY	5.07	54.57
UTILITY	0.00	0.00
AGGREGATE AREA	75.55	813.22

2 BHK COMFORT



UNIT TYPE	2 BHK COMFORT	
	SQ. MTS.	SQ. FT.
RERA CARPET AREA	66.74	718.39
BALCONY	5.07	54.57
UTILITY	0.00	0.00
AGGREGATE AREA	71.81	772.96

TOWER A3 & A4 TYPICAL FLOOR PLAN



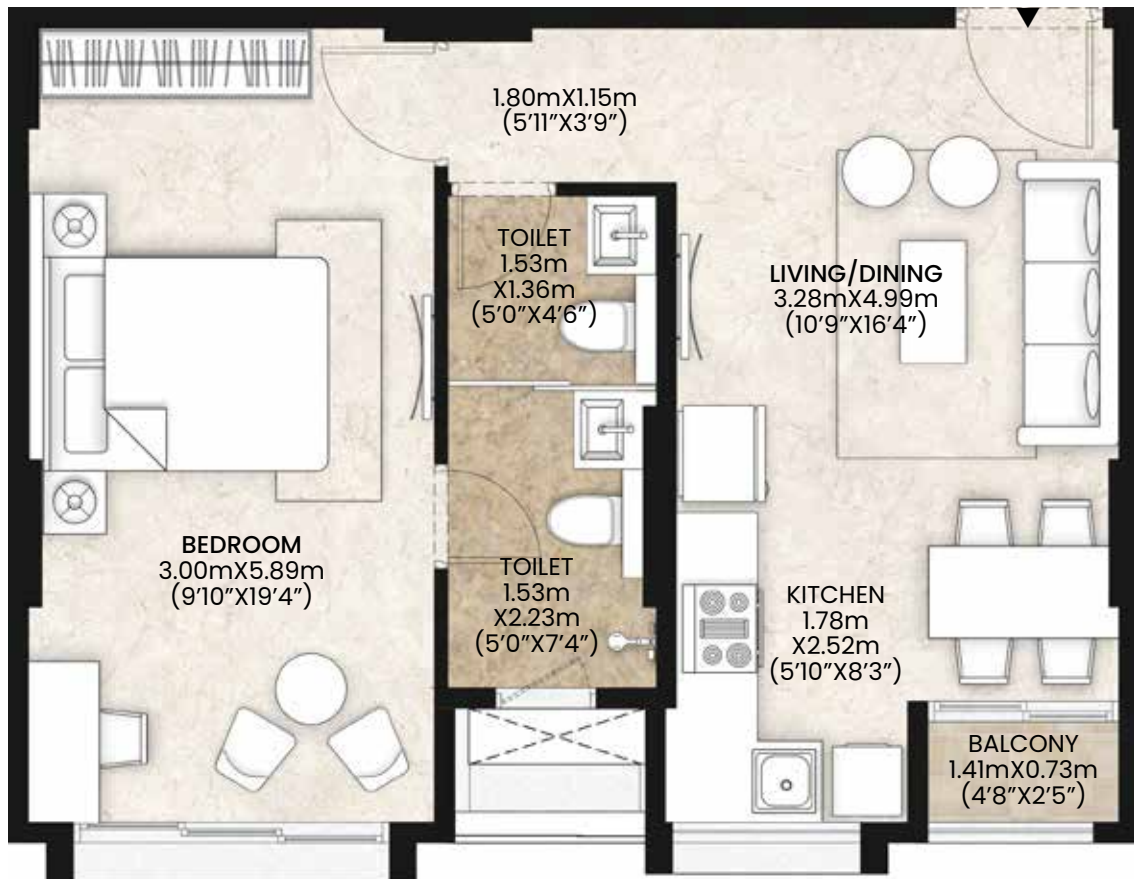
TOWER A3 - TYPICAL FLOOR PLAN

UNIT NUMBER	101		102		103	
	SQ. MTRS	SQ. FT	SQ. MTRS	SQ. FT	SQ. MTRS	SQ. FT
UNIT TYPE	2 BHK		1 BHK Luxe		2 BHK Beyond	
RERA CARPET AREA	60.84	655	44.80	483	83.83	903
WINDOW SILL BALCONY	0.00	00	0.00	00	0.00	00
BALCONY	1.08	12	1.02	11	3.71	40
UTILITY	0.00	00	0.00	00	0.00	00
AGGREGATE AREA	61.92	667	45.82	494	87.54	943

TOWER A4 - TYPICAL FLOOR PLAN

UNIT NUMBER	101		102		103		104	
	SQ. MTRS	SQ. FT	SQ. MTRS	SQ. FT	SQ. MTRS	SQ. FT	SQ. MTRS	SQ. FT
UNIT TYPE	2 BHK Beyond		1 BHK Luxe		2 BHK		1 BHK Beyond	
RERA CARPET AREA	83.83	903	44.80	483	60.84	655	48.10	518
WINDOW SILL BALCONY	0.00	00	0.00	00	0.00	00	0.00	00
BALCONY	3.71	40	1.02	11	1.08	12	1.02	11
UTILITY	0.00	00	0.00	00	0.00	00	0.00	00
AGGREGATE AREA	87.54	943	45.82	494	61.92	667	49.12	529

1 BHK LUXE

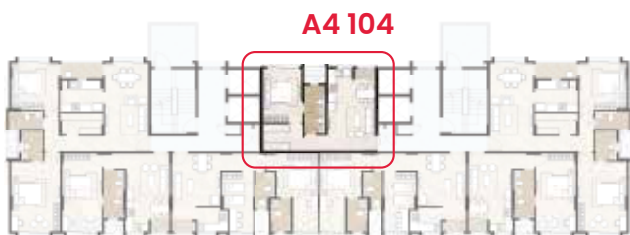
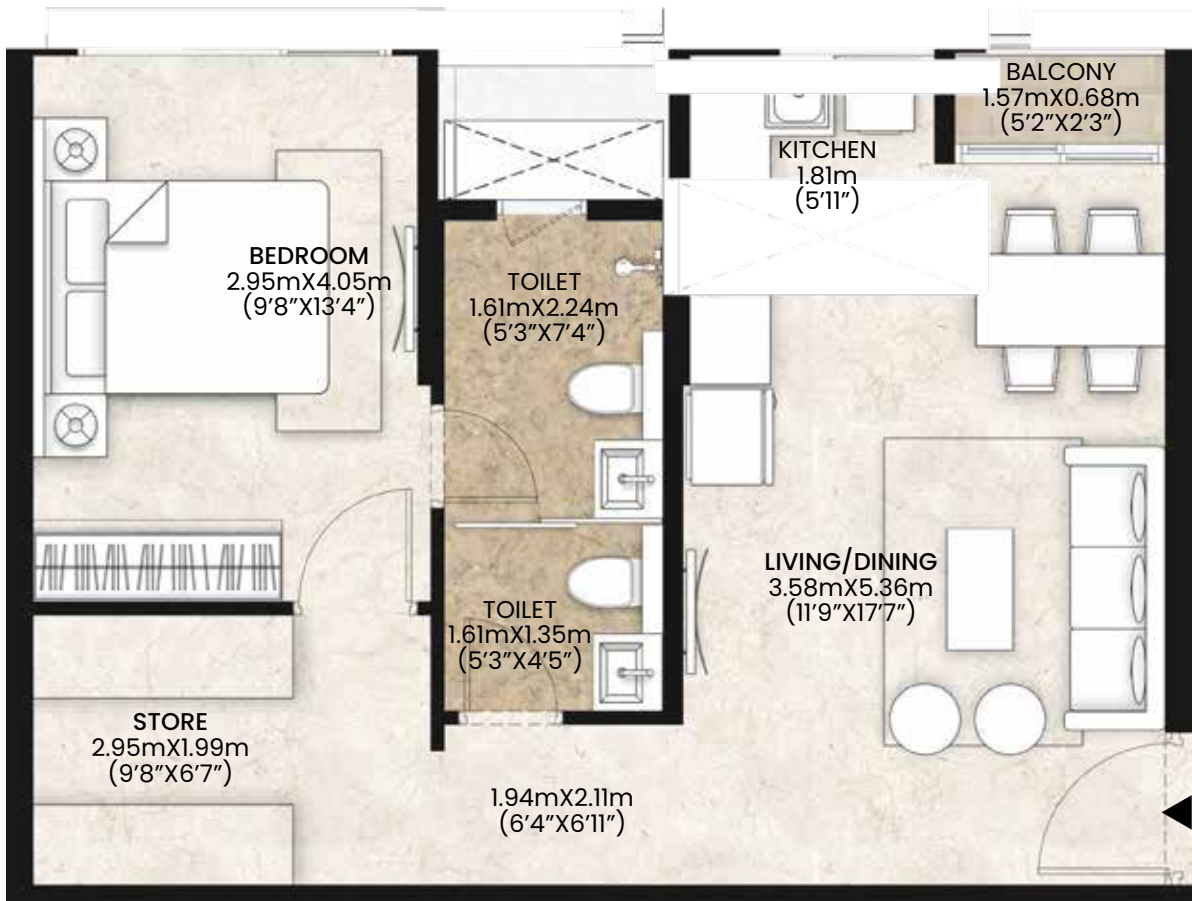


A3 102

A4 102

UNIT TYPE	1 BHK Luxe	
	SQ. MTRS	SQ. FT
RERA CARPET AREA	44.80	483
WINDOW SILL BALCONY	0.00	00
BALCONY	1.02	11
UTILITY	0.00	00
AGGREGATE AREA	45.82	493

1 BHK BEYOND



A4 104

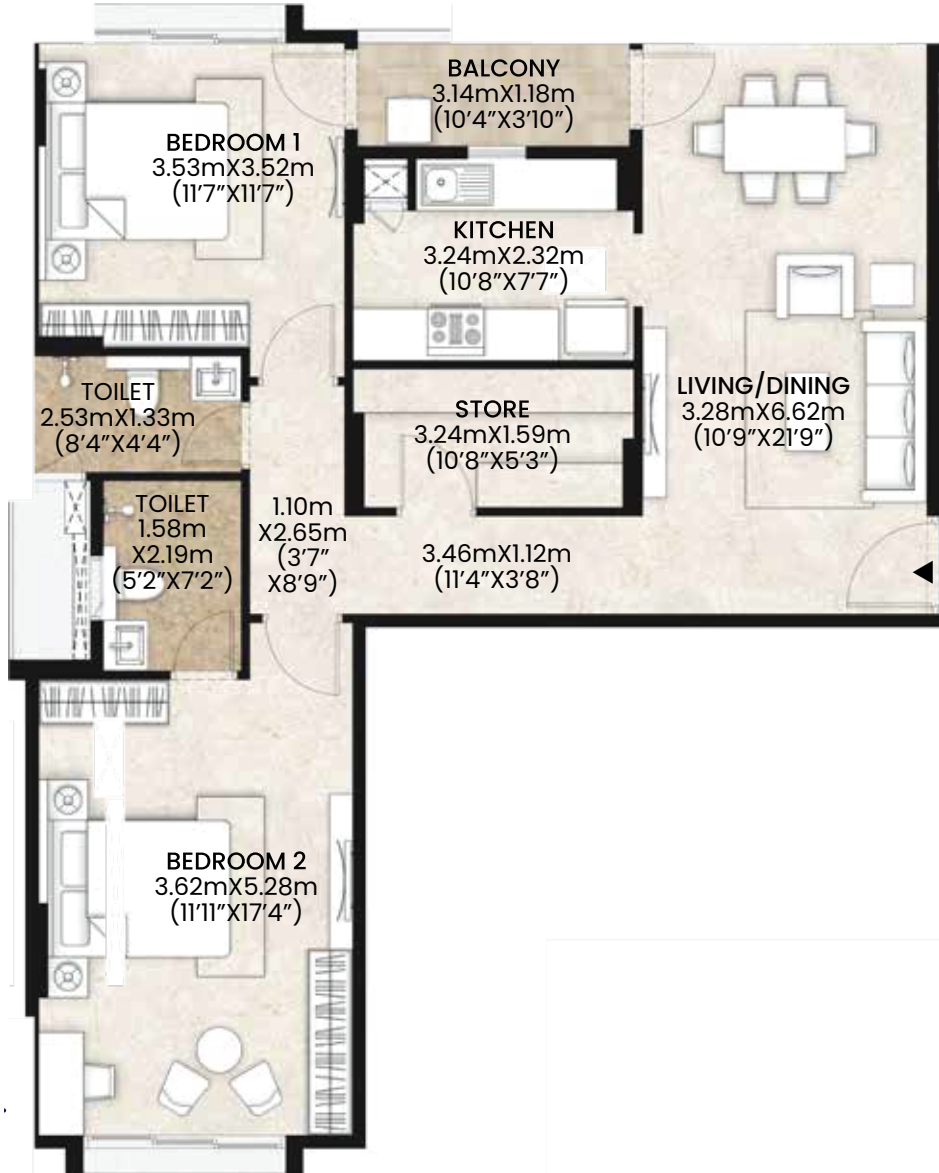
UNIT TYPE	1 BHK Beyond	
	SQ. MTRS	SQ. FT
RERA CARPET AREA	48.10	518
WINDOW SILL BALCONY	0.00	00
BALCONY	1.02	11
UTILITY	0.00	00
AGGREGATE AREA	49.12	529

2 BHK



UNIT TYPE	2 BHK	
	SQ. MTRS	SQ. FT
RERA CARPET AREA	60.84	655
WINDOW SILL BALCONY	0.00	00
BALCONY	1.08	12
UTILITY	0.00	00
AGGREGATE AREA	61.92	667

2 BHK BEYOND



A3 103

A4 101



UNIT TYPE	2 BHK Beyond	
	SQ. MTRS	SQ. FT
RERA CARPET AREA	83.83	903
WINDOW SILL BALCONY	0.00	00
BALCONY	3.71	40
UTILITY	0.00	00
AGGREGATE AREA	87.54	942

TOWER A1 & A2

TYPICAL FLOOR PLAN



TOWER A1 - TYPICAL FLOOR PLAN						
UNIT NUMBER	101		102		103	
UNIT TYPE	2 BHK PRIVE		1 BHK		1 BHK LUXE	
	SQ. MTS.	SQ. FT.	SQ. MTS.	SQ. FT.	SQ. MTS.	SQ. FT.
RERA CARPET AREA	66.68	718	40.51	436	43.37	467
WINDOW SILL BALCONY	1.49	16	1.90	21	0.00	00
BALCONY	4.94	53	0.00	00	2.60	28
UTILITY	0.00	00	0.00	00	0.00	00
AGGREGATE AREA	73.11	787	42.41	457	45.97	495

TOWER A2 - TYPICAL FLOOR PLAN				
UNIT NUMBER	101		102	
UNIT TYPE	2 BHK PRIVE		2 BHK COMFORT	
	SQ. MTS.	SQ. FT.	SQ. MTS.	SQ. FT.
RERA CARPET AREA	66.91	720	62.86	677
WINDOW SILL BALCONY	1.49	16	1.49	16
BALCONY	4.98	54	4.94	53
UTILITY	0.00	00	0.00	00
AGGREGATE AREA	73.38	790	69.29	746

HOMES THAT OPTIMIZE LIVING FOR AN ENVIRONMENT-FRIENDLY FUTURE

When you own a home at Vicino, you say yes to a sustainable way of life that makes ecological and economic sense. This is made possible through environment-friendly practices and implementing green technologies that pays back in more ways than one.

WATER TREATMENT

Saves up to **₹58.6*** lakhs annually for your society.



SMART FIXTURES

Saves up to **₹17.8*** lakhs annually for your society.



RAINWATER HARVESTING

More than **50%** rainwater harvested for recharging and maintain the ground water table



ENERGY SAVINGS

Upto **271,640*** KWh is saved annually through a building envelope.



SUSTAINABLE ARCHITECTURE

Energy efficient building envelope & passive architecture saves energy & electricity.







WASTE TO WEALTH

Value composting & recycling of 200 kgs of organic waste daily, yields an eco - nomical value of **₹8 lakhs*** p.a.



LUXURY PORTFOLIO DELIVERED

Mahindra <u>Luminare</u>	Mahindra <u>Windchimes</u>	Mahindra <u>Aqualily</u>	Mahindra <u>L'Artista</u>
 <p>Shot on location.</p> <p>Gurugram</p>	 <p>Shot on location.</p> <p>Bangalore</p>	 <p>Shot on location.</p> <p>MWC, Chennai</p>	 <p>Shot on location.</p> <p>Pune</p>
<ul style="list-style-type: none"> • Wraparound balcony • Private lift lobby • All corner homes • Located on the prestigious Golf Course Extension Road, Sec.59 Gurugram 	<ul style="list-style-type: none"> • Premium 3 & 4 BHK apartments • Over 80% open spaces 	<ul style="list-style-type: none"> • Dedicated 55 acres gated community within the Mahindra World City ecosystem • 3, 4 BHK duplex and premium villas • Only 16 families per acre 	<ul style="list-style-type: none"> • Art-inspired design • Only 2 apartments per floor • Located in the prestigious Sopan Baug area in Pune

Mahindra Lifespace Developers Ltd. ('Mahindra Lifespaces')

Established in 1994, Mahindra Lifespaces brings Mahindra Group's philosophy of 'Rise' to India's real estate and infrastructure industry through thriving residential communities and enabling business ecosystems.



Development Footprint

28.2 million sq. ft. (2.6 million sq. m.) of completed, ongoing and forthcoming residential projects across **7 Indian cities**; and over **5000 acres** of ongoing and forthcoming projects across four locations.



Development Portfolio

- Premium and luxury residential projects
- Value homes under the 'Mahindra Happinest®' brand
- Integrated cities and industrial clusters under the 'Mahindra World City' and 'Origins by Mahindra' brands